

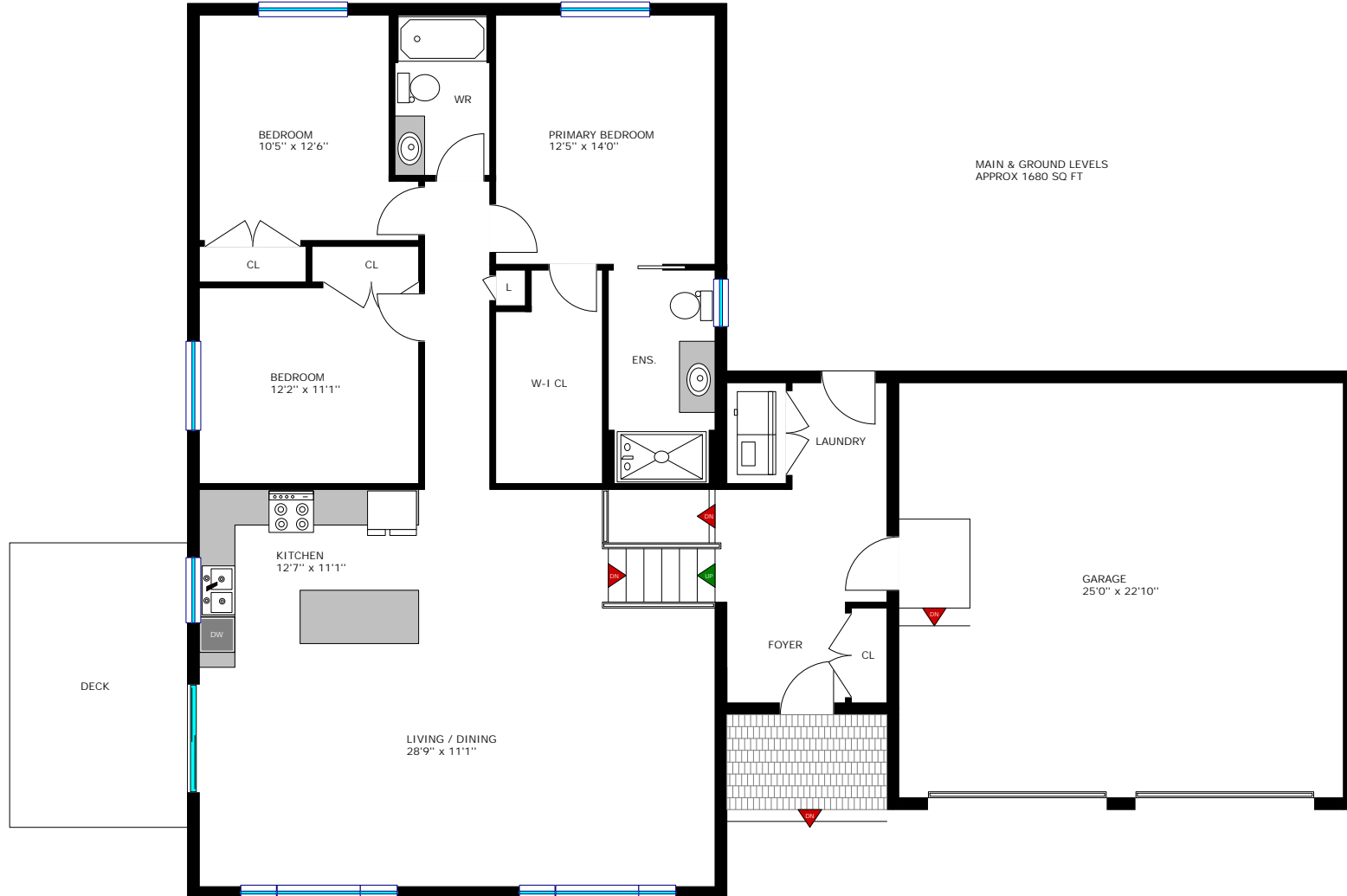
6273 County Road 46, Brockville

Last Revised: 2024-08-10

Page 1 of 3

Debra Lynn Currier

Broker



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Floor plan measurements and square footage are approximate, and drawings are for illustrative purposes only. We make no guarantee or warranty as to the accuracy and completeness of the floor plan. Please be sure to conduct an independent investigation of the property to determine the suitability for your space requirements.

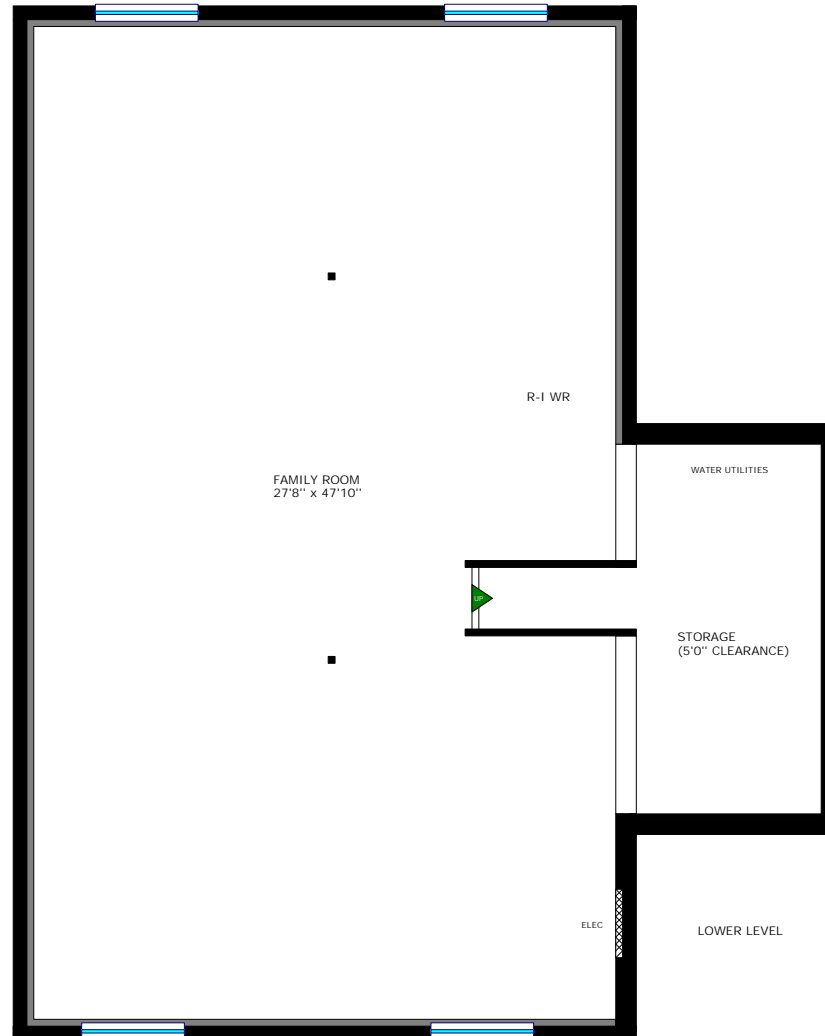
6273 County Road 46, Brockville

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Page 2 of 3

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Room Measurements

LEVEL	ROOM / AREA	IMPERIAL	METRIC (Metres)
GROUND	Foyer	6'6" x 12'2"	1.98 x 3.71
	Mud Room / Laundry	8'10" x 5'9"	2.69 x 1.75
MAIN	Living / Dining	28'9" x 11'1"	8.76 x 3.38
	Kitchen	12'7" x 11'1"	3.84 x 3.38
	Primary Bedroom	12'5" x 14'0"	3.78 x 4.27
	+ 3-Piece Ensuite	6'0" x 12'0"	1.83 x 3.66
	+ W-I Closet	6'0" x 12'0"	1.83 x 3.66
	Bedroom	10'5" x 12'6"	3.18 x 3.81
	Bedroom	12'2" x 11'1"	3.71 x 3.38
LOWER	Family Room	27'8" x 47'10"	8.43 x 14.58
	Storage	9'0" x 17'0"	2.74 x 5.18
OTHER	Side Deck	10'0" x 16'0"	3.05 x 4.88
	Attached Garage	25'0" x 22'10"	7.62 x 6.96





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The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code.

Qualification Information:

Jeremy McMullen  **22021**
 NAME SIGNATURE BCIN

Precision Home Design **113690**
 FIRM BCIN

CUSTOMER:
 MODEL HOME
 PRYERS CONSTRUCTION
 ADDRESS

DRAWING NAME:

SCALE:	Sheet #
DATE: MARCH 12, 2024	A1

OWNER & BUILDER'S NOTE

THESE PLANS SHALL NOT BE USED FOR CONSTRUCTION UNTIL STAMPED AND SIGNED BY A QUALIFIED DESIGNER & THE LOCAL BUILDING DEPARTMENT. THE BUILDER IS EXPECTED TO FOLLOW THESE PLANS, APPLICABLE BUILDING CODES AND LOCAL ORDINANCES. HE SHALL VERIFY THAT SITE CONDITIONS ARE CONSISTENT WITH THESE PLANS BEFORE STARTING CONSTRUCTION. WHILE THESE PLANS ARE DRAWN TO SHOW THE PROPOSED WORK AS ACCURATELY AS POSSIBLE, SCHEMATIC DETAILS MAY BE USED IN SOME CASES FOR CLARITY. WORK NOT SPECIFICALLY DETAILED SHALL BE CONSTRUCTED TO THE SAME QUALITY AS SIMILAR WORK THAT IS DETAILED.

WRITTEN DIMENSIONS AND SPECIFIC NOTES SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS AND GENERAL NOTES. THE DESIGNER SHALL BE CONSULTED FOR CLARIFICATION IF SITE CONDITIONS ARE ENCOUNTERED THAT ARE DIFFERENT THAN SHOWN, IF DISCREPANCIES ARE FOUND IN THE PLANS OR NOTES, OR IF A QUESTION ARISES OVER THE INTENT OF THE PLANS OR NOTES.

THE DESIGNER ASSUMES NO RESPONSIBILITY FOR SCHEDULING, FABRICATION, CONSTRUCTION TECHNIQUES OR MATERIALS, OR QUANTITIES USED IN THE WORK. THE DESIGNER ASSUMES NO RESPONSIBILITY FOR FIELD CHANGES, SITE VARIANCES OR DISCREPANCIES NOT BROUGHT TO HIS HER ATTENTION FOR CLARIFICATION.

GENERAL NOTES

ALL WORK SHALL BE DONE IN ACCORDANCE WITH 2012 ONTARIO BUILDING CODE AND LOCAL CODES.

FOUNDATION AND TRUSS DESIGN SHALL BE VERIFIED BY A QUALIFIED ENGINEER FOR COMPLIANCE WITH SITE REQUIREMENTS.

DIMENSIONS AND NOTES SHALL TAKE PRECEDENCE OVER THE SCALING OF DRAWINGS.

WALL DIMENSIONS ARE TO THE EXTERIOR OF FRAMING UNLESS NOTED OTHERWISE.

LUMBER COMING IN CONTACT WITH CONCRETE OR MASONRY SHALL BE TREATED OR PROTECTED WITH AN APPROVED VAPOR BARRIER.

CONTINUOUS CONTACT WITH THE GROUND SHALL BE TREATED TO A MINIMUM OF .60 GCA.

ALL FRAMING LUMBER TO BE #2 OR BETTER DF OR EQUIVALENT, UNLESS NOTED OTHERWISE.

EXTERIOR AND INTERIOR MATERIALS AND FINISHES TO BE DETERMINED BY OWNER.

ALL REQUIRED SMOKE ALARMS NEED A VISUAL COMPONENT.

BLOCKING FOR NON-LOAD BEARING INTERIOR WALLS PARALLEL TO FLOOR JOISTS SHALL BE MIN 2x4 @ 4'-0" O.C.

CHIMNEY HEIGHT SHALL BE DETERMINED USING A 10' RADIUS PLANE AND SHALL BE 2' HIGHER THAN ANY ROOF SURFACE 10' FROM THE CHIMNEY.

DOWNSPOUTS TO BE COLLECTED AND ROOF RUN OFF TO BE DIRECTED AWAY FROM STRUCTURE.

FINISH GRADE SHALL SLOPE AWAY FROM STRUCTURE MIN. 1/2" PER FOOT OF RUN FOR 4' MIN.

SOIL PARAMETERS: BASED ON SOILS INDIGENOUS TO THE AREA:
BEARING PRESSURE - 1600 PSF. (75 kPa) LATERAL ACTIVE PRESSURE 35 PSF FLUID EQUIVALENT
SOIL-CONCRETE COEFFICIENT 0.35 SOIL PROFILE SD

BUILDING PERFORMANCE

HEAT LOSS CALCULATIONS SHALL COMPLY WITH THE REQUIREMENTS OF REGIONAL AND LOCAL CODES. SEE CALCULATIONS.

PORCHES AND GARAGE AREAS NOT INCLUDED IN LIVING AREA.

ALL EXHAUST FANS TO BE VENTED DIRECTLY TO THE EXTERIOR.

ALL PENETRATIONS OF THE BUILDING ENVELOPE SHALL BE SEALED WITH POLYURETHANE FOAM.

ALL COMBUSTION APPLIANCES WILL BE VENTED DIRECTLY TO THE EXTERIOR.

FURNACE FIREBOX SHALL HAVE OUTSIDE COMBUSTION AIR SUPPLY PURSUANT TO REGIONAL AND LOCAL CODES.

SOIL GAS CONTROL:
A SOIL GAS BARRIER IS REQUIRED TO BE INSTALLED BENEATH A CONCRETE SLAB (AT OR BELOW GRADE) FOR ALL CONSTRUCTION REGULATED UNDER PART 9 OF THE ONTARIO BUILDING CODE.
A SOIL GAS BARRIER MUST INCLUDE THE FOLLOWING REQUIREMENTS;
POLYETHYLENE SHEET COMPLYING TO CAN/CGSB-51.34-M
- JOINTS IN THE SOIL GAS BARRIER SHALL BE LAPPED NOT LESS THAN 300MM (12")
- PERIMETER OF SLAB SHALL BE SEALED TO THE INNER SURFACE OF ADJACENT WALLS USING FLEXIBLE SEALANT
- SLAB PENETRATIONS SHALL BE SEALED AGAINST SOIL GAS LEAKAGE

VENTILATION:

WHERE INSULATION IS INSTALLED BETWEEN A CEILING AND THE UNDERSIDE OF THE ROOF SHEATHING, A SPACE SHALL BE PROVIDED BETWEEN THE INSULATION AND THE SHEATHING, AND VENTS SHALL BE INSTALLED TO PERMIT THE MOVEMENT OF AIR FROM THE SPACE TO THE EXTERIOR.

ATTIC SHALL HAVE VENTILATION EQUAL TO 1 SQ. FOOT PER 150 SQ. FEET OF ATTIC SPACE. VENTILATION SHALL BE PROTECTED FROM SNOW AND RAIN. OPENINGS SHALL BE LOCATED TO PROVIDE CROSS VENTILATION.

UNDER FLOOR SPACES SHALL HAVE VENTILATION EQUAL TO ONE SQ. FOOT PER 150 SQ. FEET OF FLOOR SPACE. VENTS SHALL BE CAST INTO THE CONCRETE STEM WALLS AND COVERED WITH GALVANIZED WIRE SCREEN. VENTS SHALL BE LOCATED TO PROVIDE CROSS VENTILATION.

RAILING NOTES:

STAIRWAYS SHALL HAVE A MIN. WIDTH OF 35" MEASURED BETWEEN WALL FACES OR GUARDS.

TREADS SHALL HAVE A MIN. DEPTH OF 10". STAIR TREADS MUST BE UNIFORM AND CAN NOT VARY FROM THE LARGEST TO THE SMALLEST BY MORE THAN 1/4".

STAIRWAYS SHALL HAVE MIN. 6'-5" OF HEADROOM AT THE NOSE OF THE STAIR.

STAIRWAYS SHALL HAVE AT LEAST ONE HANDRAIL LOCATED 34" TO 38" ABOVE THE NOSING OF TREADS AND LANDINGS. THE HAND GRIP PORTION OF HANDRAILS SHALL NOT BE LESS THAN 1-1/2" OR GREATER THAN 2" IN CROSS-SECTIONAL DIMENSION.

HANDRAILS SHALL BE CONTINUOUS THE FULL LENGTH OF THE STAIRS. THE ENDS OF HANDRAILS SHALL RETURN TO WALL OR TERMINATE INTO A NEWEL POST OR SAFETY TERMINAL.

STAIRWAYS HAVING LESS THAN 2 RISERS DO NOT REQUIRE A HAND RAIL.

36" MIN. HEIGHT GUARDRAILS SHALL BE PROVIDED FOR AT PORCHES, DECKS, BALCONIES, STAIRWAYS AND LANDINGS WHERE THE ADJACENT SURFACE IS MORE THAN 24" BELOW.

RAILING AND GUARDRAIL BALUSTER SPACING SHALL BE NO GREATER THAN 4".

THE TRIANGULAR OPENINGS FORMED BY THE RISER, TREAD, AND BOTTOM OF GUARDRAIL SHALL NOT ALLOW A 4" DIAMETER SPHERE TO PASS THROUGH.

WINDOWS AND DOORS

WINDOWS SHALL BE DOUBLE PANE WITH VINYL FRAMES AND CONFORM TO CAN/CSA-A440 MANUFACTURER AND COLOR TO BE DETERMINED BY OWNER.

EVERY BEDROOM SHALL BE PROVIDED WITH AN EGRESS WINDOW WITH FINISH SILL HEIGHT NOT GREATER THAN 39" ABOVE THE FINISH FLOOR HEIGHT (EXCLUDING BASEMENTS) AND SHALL HAVE A MINIMUM OPENABLE AREA OF 3.8 SQ. FT. EGRESS WINDOWS SHALL NOT HAVE AN OPENABLE AREA LESS THAN 15" WIDE OR 24" HIGH.

SAFETY GLAZING SHALL BE PROVIDED IN DOORS AND ENCLOSURES FOR HOT TUBS, WHIRLPOOLS, SAUNAS, STEAM ROOMS, BATHTUBS, AND SHOWERS.

ALL EXTERIOR DOORS AND WINDOWS SHALL BE FINISHED WITH WEATHER RESISTANT COATINGS AND WEATHER STRIPPED.

DOORS BETWEEN GARAGE AND LIVING AREA SHALL BE 1-3/4" TIGHT FITTING SOLID CORE DOORS WITH A RATING OF 20 MINUTES. DOOR SHALL BE SELF CLOSING.

MAIN ENTRANCE DOORS TO DWELLING UNITS SHALL BE PROVIDED WITH, A DOOR VIEWER OR TRANSPARENT GLAZING IN THE DOOR, OR A SIDELIGHT.

ATTIC ACCESS:

A MINIMUM OF 22" x 36". THERE SHALL BE 30" MIN. CLEARANCE AT OR ABOVE THE OPENING.

LOCATED IN A CORRIDOR, HALLWAY OR OTHER READILY ACCESSIBLE LOCATION. ATTICS WITH A MAXIMUM VERTICAL HEIGHT OF LESS THAN 30" WILL NOT REQUIRE ACCESS OPENINGS.

HATCHWAYS TO ATTIC OR ROOF SPACES SHALL BE FITTED WITH DOORS OR COVERS.

REVISIONS	DATE

DOOR SCHEDULE

NUMBER	QTY	FLOOR	WIDTH	HEIGHT	R/O	DESCRIPTION	AREA, ACTUAL (SQ FT)	COMMENTS
D01	2	1	108 "	96 "	112"X98"	GARAGE-GARAGE DOOR CHD08	72.0	
D02	5	1	30 "	80 "	32 1/2"X83 1/2"	HINGED-3 PANEL	16.67	
D03	1	1	30 "	80 "	61 1/4"X84 1/2"	POCKET-3 PANEL	16.67	
D04	3	1	36 "	80 "	37"X83 3/4"	EXT. HINGED-DOOR E03	20.0	
D06	4	1	48 "	80 "	50 1/2"X83 1/2"	DOUBLE HINGED-3 PANEL	26.67	
D08	1	1	60 "	80 "	62"X83"	4 DR. BIFOLD-DOOR P05	33.33	
D09	1	1	72 "	80 "	73"X83 3/4"	EXT. SLIDER-GLASS PANEL	40.0	
TOTALS:							484.03	

WINDOW SCHEDULE

NUMBER	QTY	FLOOR	WIDTH	HEIGHT	R/O	DESCRIPTION	AREA, ACTUAL (SQ FT)	COMMENTS
W01	4	0	60 "	30 "	61"X31"	LEFT SLIDING	12.5	
W02	1	1	28 "	42 "	29"X43"	SINGLE CASEMENT-HL	8.17	
W03	1	1	42 "	36 "	43"X37"	DOUBLE CASEMENT-LHL	10.5	
W04	1	1	54 "	48 "	55"X49"	DOUBLE CASEMENT-LHL	18.0	
W05	1	1	60 "	48 "	61"X49"	DOUBLE CASEMENT-RHR	20.0	
W06	2	1	90 "	60 "	91"X61"	MULLED UNIT-HL	37.5	
W07	1	1	60 "	48 "	61"X49"	DOUBLE CASEMENT-LHL	20.0	
TOTALS:							201.67	

NOTES:

- DOUBLE PANE WINDOWS / DOORS
- GRIDS AS PER ELEVATIONS

TABLE 3.1.1.2.A (IP)
ZONE 1 - COMPLIANCE PACKAGES AFUE > 92%

COMPONENT	THERMAL VALUES	PACKAGE A1		
		MIN. OBC	AS BUILT	
CEILING w/ ATTIC SPACE	MIN. NOMINAL 'R'	60	60	
CEILING w/o ATTIC SPACE		31	31	
EXPOSED FLOOR		31	N/A	
WALLS ABOVE GRADE		22	22	
BASEMENT WALLS		12 + 10 C.I.	12 + 10 C.I.	
BELOW GRADE SLAB ENTIRE SURFACE > 600mm BELOW GRADE		N/A	N/A	
HEATED SLAB OR SLAB < 600mm BELOW GRADE		10 C.I.	N/A	
EDGE OF BELOW GRADE SLAB < 600 mm BELOW GRADE		10 C.I.	N/A	
WINDOWS AND SLIDING GLASS DOORS		ENERGY RATING	25	25
SKYLIGHTS		MAX. U	0.49	N/A
SPACE HEATING EQUIPMENT	MIN. AFUE	96 %	96 %	
HRV	MIN. SRE	75 %	75 %	
DOMESTIC WATER HEATER	MIN. EF	0.80	0.80	



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Qualification Information:

Jeremy McMullen  22021

NAME SIGNATURE BCIN

Precision Home Design 113640

FIRM BCIN

CUSTOMER:

MODEL HOME
PRYERS CONSTRUCTION
ADDRESS

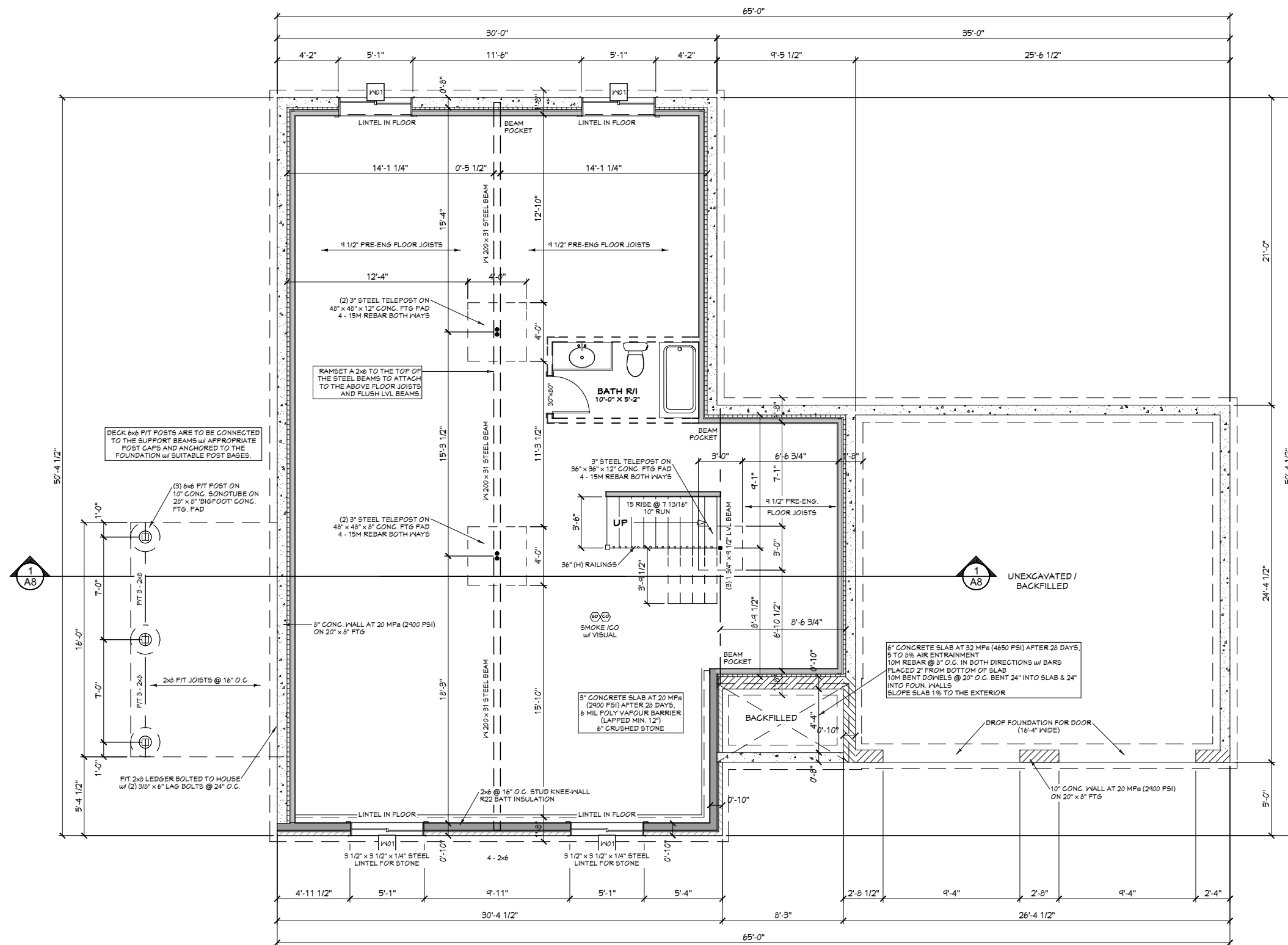
DRAWING NAME:

GENERAL NOTES

SCALE: Sheet #

DATE: MARCH 12, 2024 A2

ALL EXTERIOR DIMENSIONS
ARE FROM CONCRETE



FOUNDATION PLAN

8" CONG. FOUN. WALL
 10" CONG. FOUN. WALL



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CUSTOMER:

MODEL HOME
 PRYERS CONSTRUCTION
 ADDRESS

DRAWING NAME:

FOUNDATION PLAN

SCALE:

1/8" = 1'-0"

DATE:

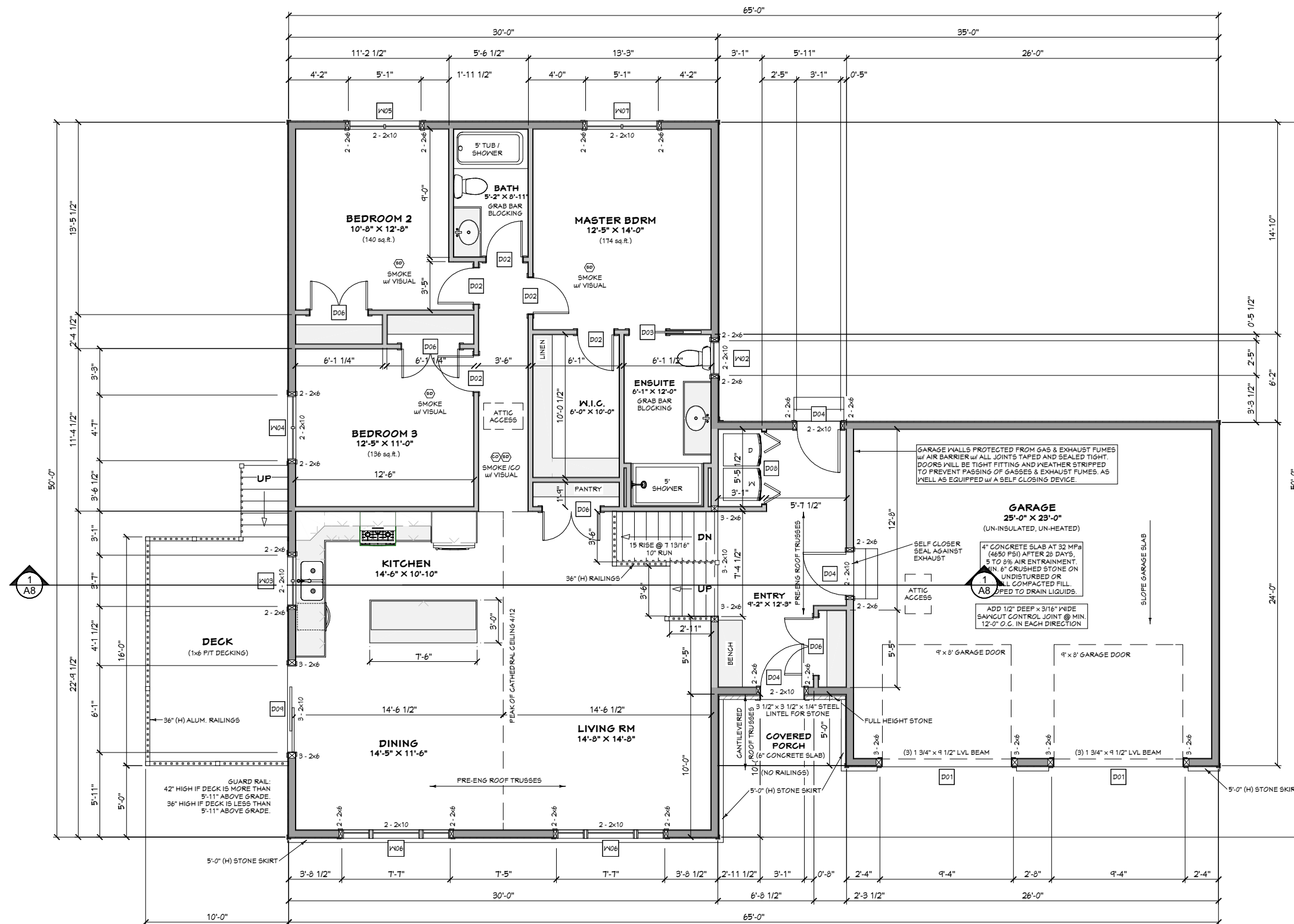
MARCH 12, 2024

Sheet #

A3

ALL EXTERIOR DIMENSIONS
ARE FROM FRAMING

ALL INTERIOR DIMENSIONS
ARE FROM FRAMING



GROUND FLOOR PLAN

1680 SQ.FT.

WINDOW / DOOR POSTS
2 - 2x6 = 1 JACK STUD, 1 KING STUD
3 - 2x6 = 2 JACK STUDS, 1 KING STUD
4 - 2x6 = 3 JACK STUDS, 1 KING STUD

GIRDER TRUSS SUPPORT NOTE:
LOCATION OF POSTS FOR THE GIRDER TRUSSES SHALL
BE COORDINATED w/ THE PRE-ENG. ROOF TRUSS
LAYOUT. THE POSTS SHALL BE A MIN. OF 4 - 2x6 SPF #2.



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NAME SIGNATURE BCIN

Precision Home Design 113640
FIRM BCIN

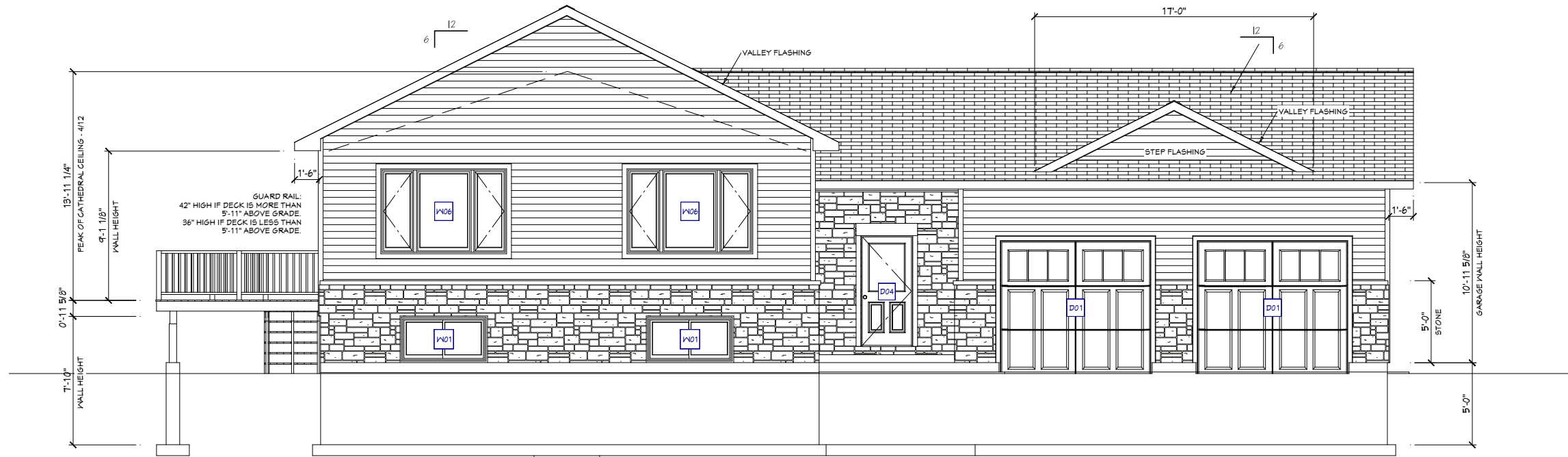
CUSTOMER:
MODEL HOME
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ADDRESS

DRAWING NAME:
GROUND FLOOR PLAN

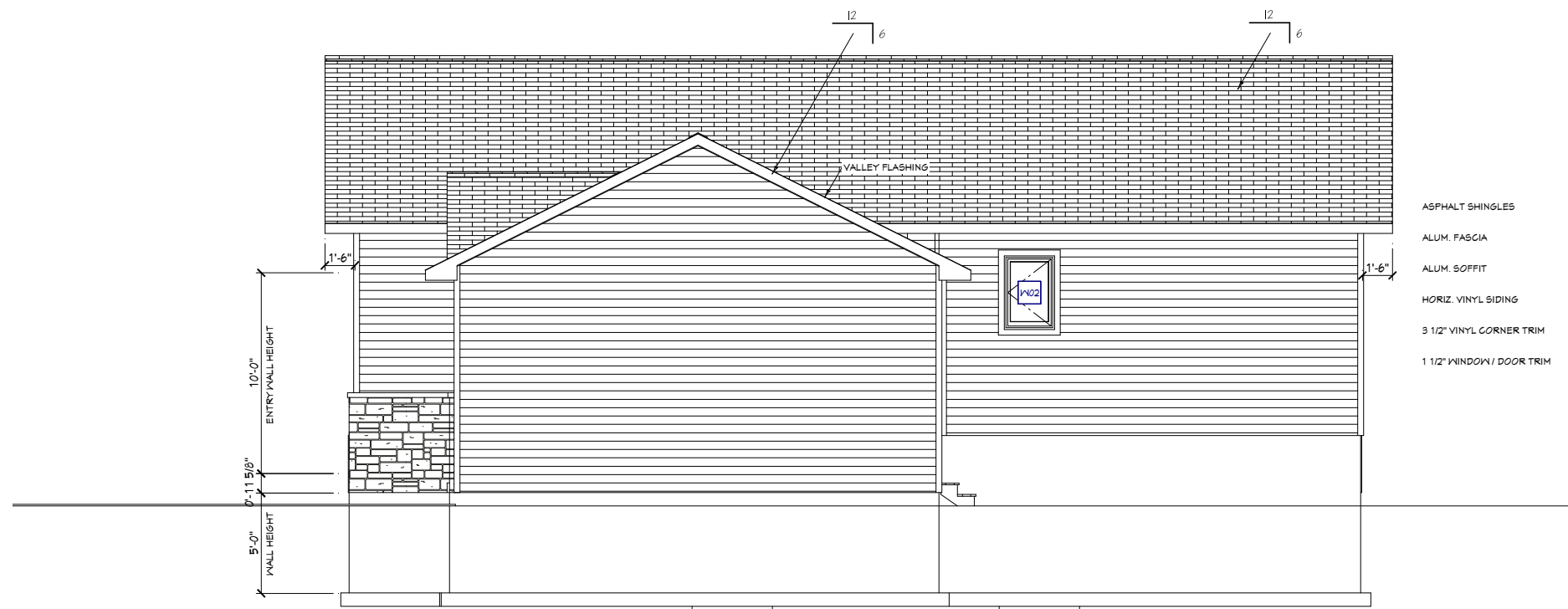
SCALE:
1/8" = 1'-0"

DATE:
MARCH 12, 2024

Sheet #
A4



FRONT ELEVATION



RIGHT ELEVATION



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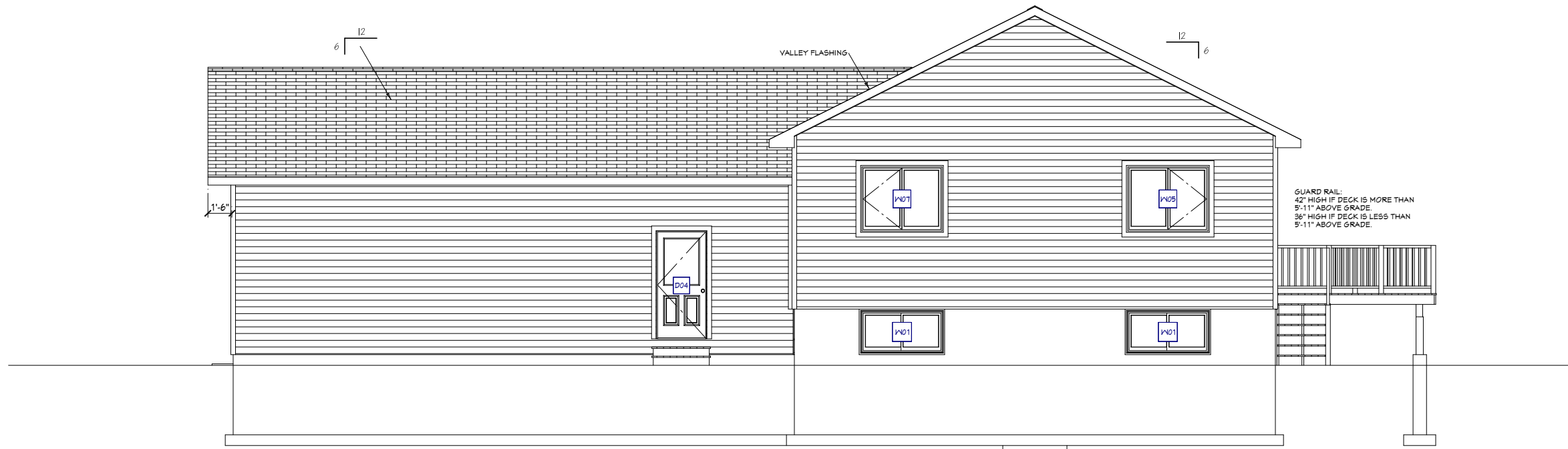
Qualification Information:

Jeremy McMullen	<i>Jeremy McMullen</i>	22021
NAME	SIGNATURE	BCIN
Precision Home Design		113690
FIRM		BCIN

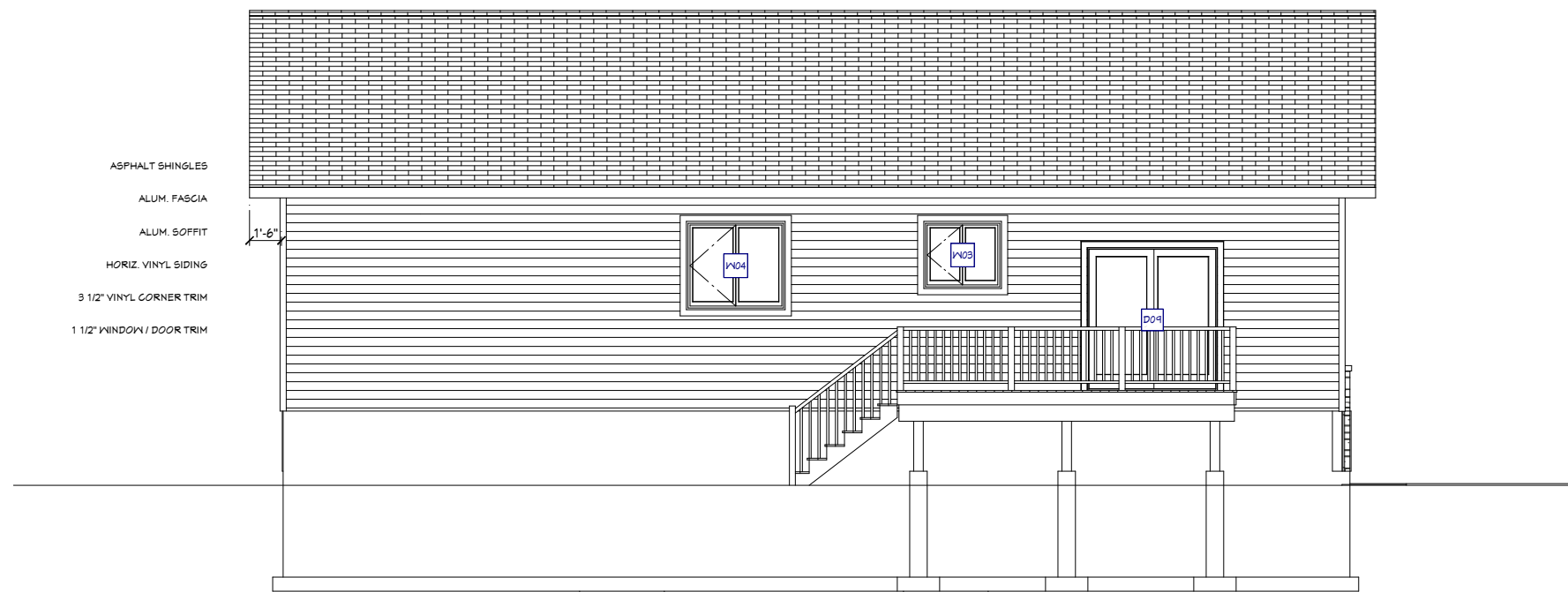
CUSTOMER:
 MODEL HOME
 PRYERS CONSTRUCTION
 ADDRESS

DRAWING NAME:
 ELEVATIONS

SCALE: 1/8" = 1'-0"	Sheet # A5
DATE: MARCH 12, 2024	



REAR ELEVATION



LEFT ELEVATION



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Qualification Information:

Jeremy McMullen *Signature* 22021
 NAME SIGNATURE BCIN

Precision Home Design 113690
 FIRM BCIN

CUSTOMER:
 MODEL HOME
 PRYERS CONSTRUCTION
 ADDRESS

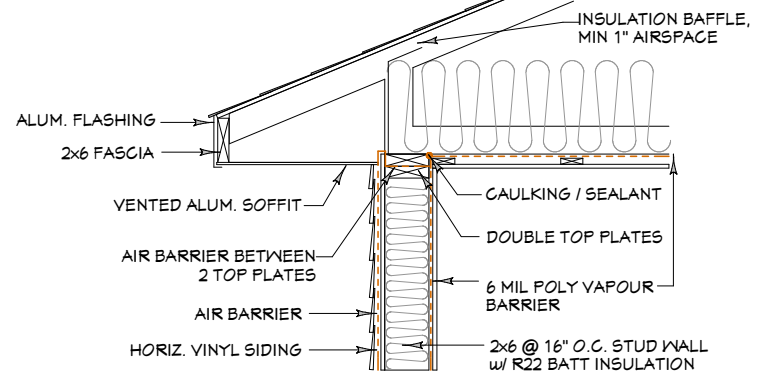
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 ELEVATIONS

SCALE:
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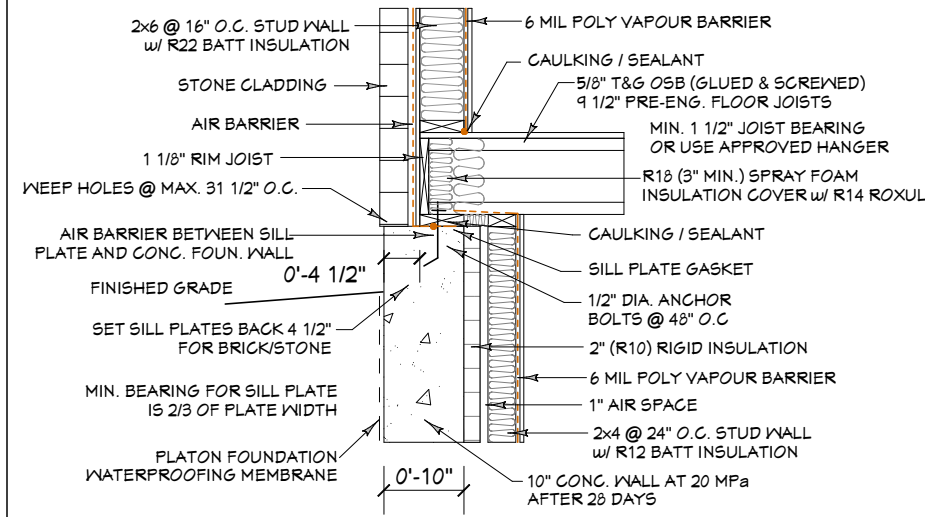
DATE:
 MARCH 12, 2024

Sheet #
A6

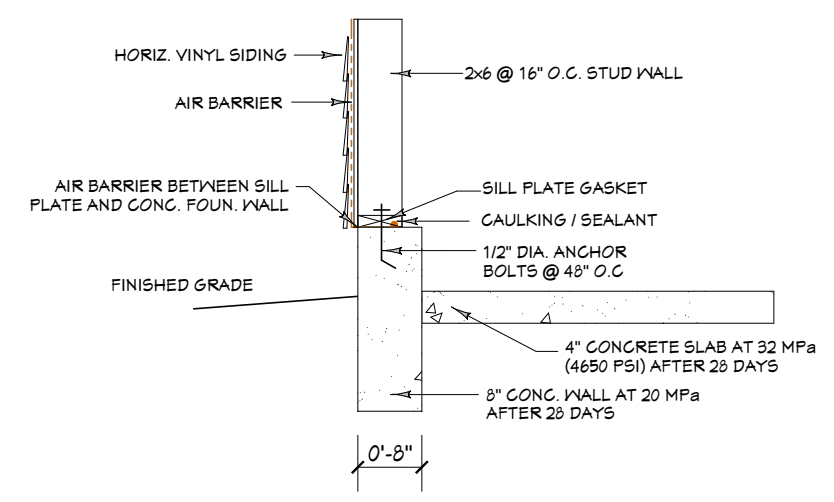
EAVE PROTECTION AS PER O.B.C. 9.26.5.1.(1)
900mm MUST BE INSTALLED STARTING FROM ROOF
EDGE WITH NOT LESS THAN 300mm FROM THE INSIDE
OF THE INNER FACE OF THE EXTERIOR WALL.



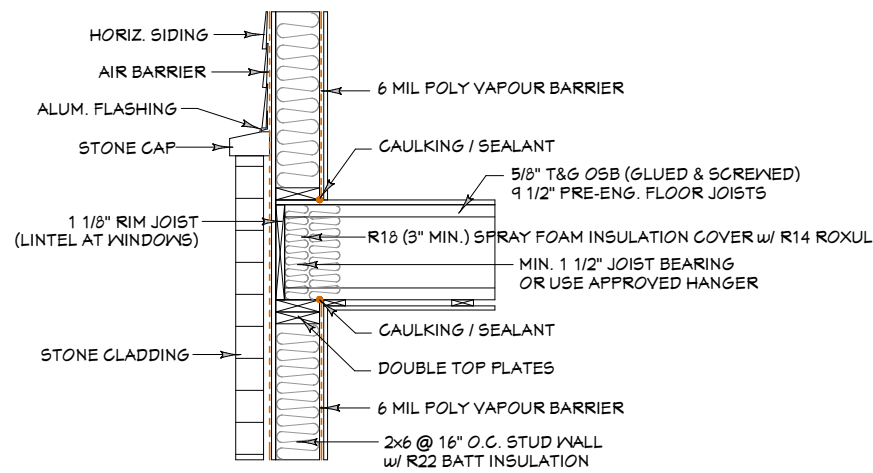
ROOF OVERHANG DETAIL



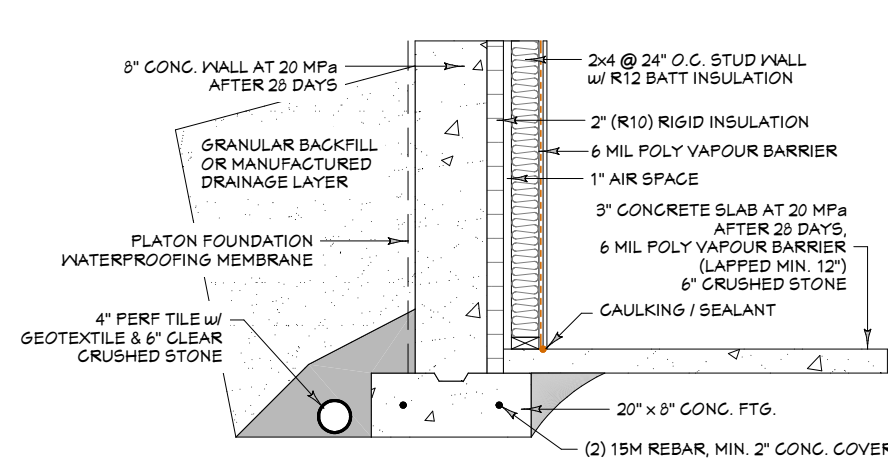
STONE CLADDING DETAIL



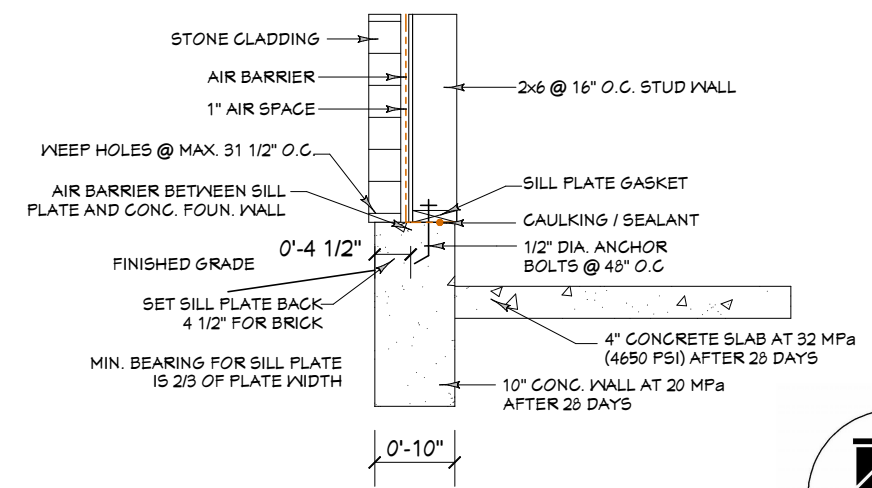
GARAGE WALL DETAIL



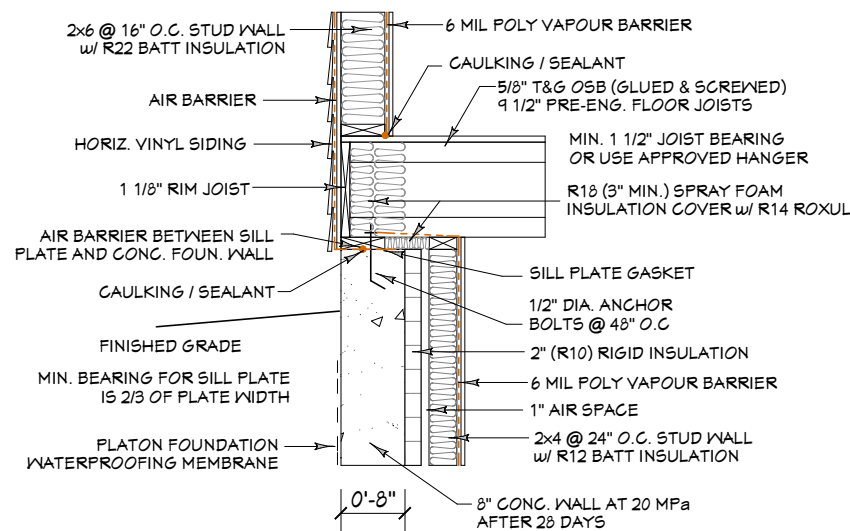
KNEEWALL SIDING / STONE DETAIL



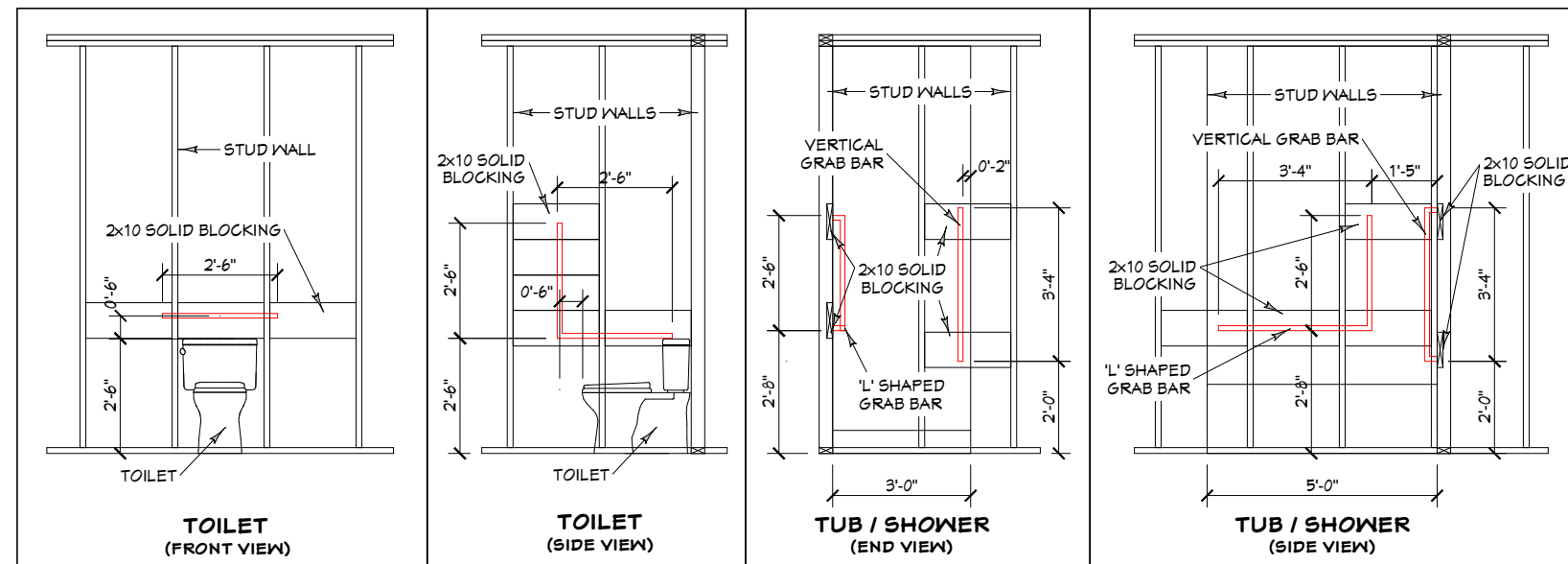
FOUNDATION DETAIL



**GARAGE WALL w/ STONE
CLADDING DETAIL**



SIDING DETAIL



TYPICAL GRAB BAR BLOCKING (MIN DIA. OF GRAB BARS = 1 1/8")

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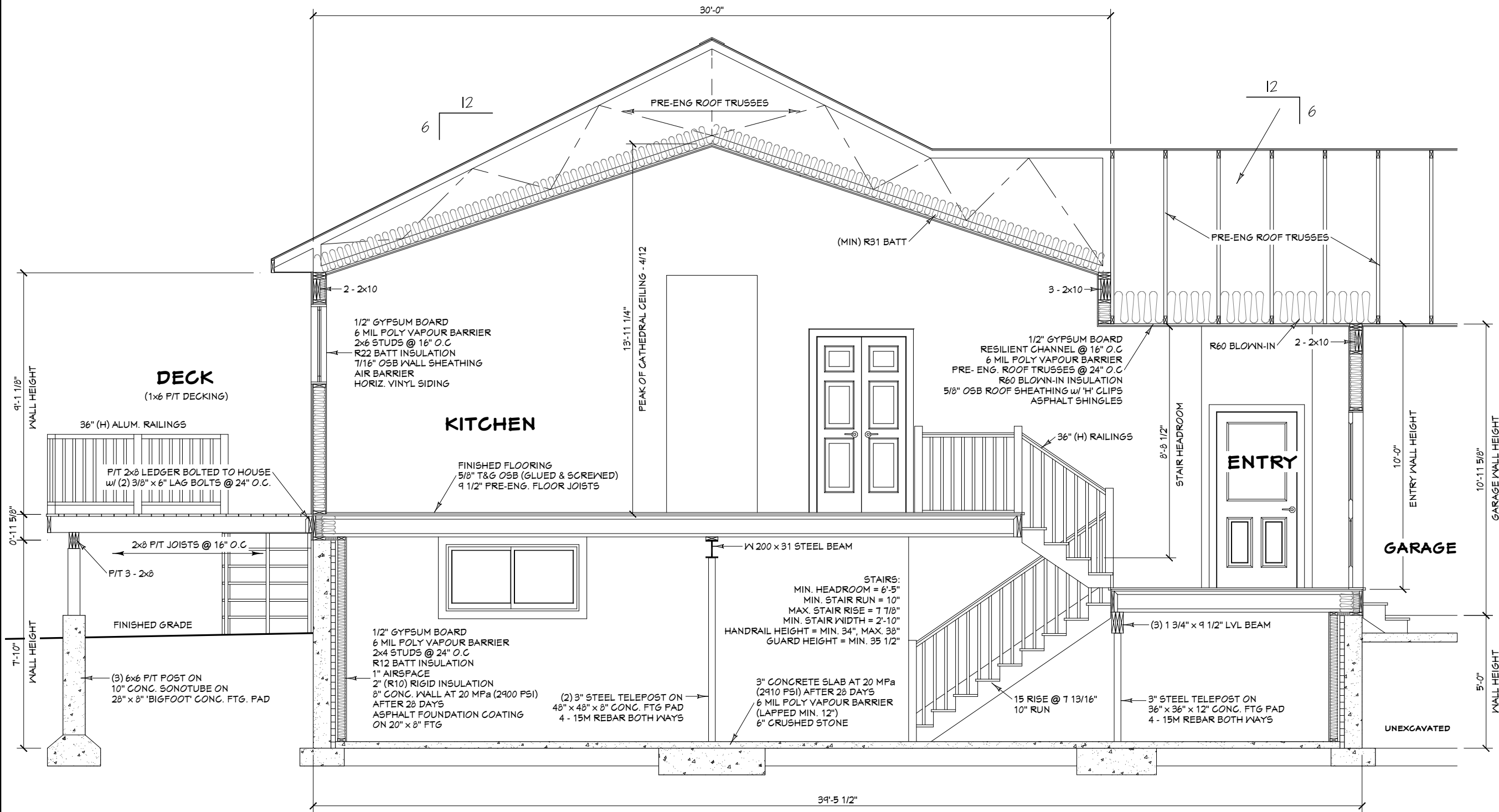
CUSTOMER:
**MODEL HOME
PRYERS CONSTRUCTION**
ADDRESS

DRAWING NAME:
DETAILS

SCALE:

DATE:
MARCH 12, 2024

Sheet #
A7



1
A8

BUILDING SECTION

1/4" = 1'-0"



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